



## Application for Architectural Review Board

*\* This application must be filled out completely and signed before submittals are placed on the ARB agenda.*

*The purpose of Architectural Review Board shall be to two-fold; to develop architectural and design guidelines for the City of Ladue in accordance with section 110-70 and to apply those guidelines in reviewing projects within the City as to whether or not the project adheres to such guidelines.*

### APPLICANT INFORMATION

Name of Applicant: James Whalen Project Manager, Whalen Custom Homes, Inc.

Phone #: (314) 712-4766

Email address of Applicant (for review comments): james@whalencustomhomes.com

### PROJECT PROPERTY INFORMATION

Address for proposed work: 9029 Clayton Rd. Ladue, MO 63117

Zoning District: C Parcel ID # (St. Louis county record): 19K130202

DESCRIPTION OF PROPOSED PROJECT: Construction of new single-family residence.

### Additional Information:

- Professionally sealed plans are not required for ARB review.
- Plans for projects involving alterations and repairs, which do not affect the outward appearance of a building, and existing decks, fences, window replacements and roofing shingle replacements shall not require approval of the Architectural Review Board.
- Revised plans with any changes predicated by the ARB will need to be submitted with the building permit application to the Department of Planning and Development with final trustee approval (if applicable.)
- Projects approved by ARB should be submitted for building permits within 180 days or the ARB approval may become void.

**By signing this application, you acknowledge that by submitting an incomplete application, your petition will not be added to the meeting agenda.**

X

Date: 7/30/2020

*\* This application and review for City of Ladue building permitted purposes only. Please be aware of any additional covenants and indentures which may be recorded with your subdivision.*

SITE

LOCATION MAP  
N.T.S.

DEVELOPMENT NOTES

LOCATOR NUMBER: 19K130202

1. SITE ADDRESS: 9029 CLAYTON ROAD  
LADUE, MO 63124  
  
OWNER: WHALEN CUSTOM HOMES  
338 S. KIRKWOOD RD.  
KIRKWOOD, MO 63122
2. EXISTING USE: SINGLE FAMILY RESIDENTIAL
3. PROPOSED USE: SINGLE FAMILY RESIDENTIAL
4. TOTAL SQUARE FOOTAGE OF LOT = 30,051 SF (0.69 ACRES±)

GENERAL NOTES:

1. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION BEFORE EXCAVATION OR TRENCHING TO AVOID DAMAGE THERETO.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL NECESSARY INSPECTIONS WITH ALL GOVERNING AGENCIES AND UTILITY COMPANIES INVOLVED WITH THIS PROJECT. THE CONTRACTOR SHALL ALSO PAY ANY FEES ASSOCIATED WITH PERMITS, INSPECTIONS AND ANY OTHER CONSTRUCTION RELATED ACTIVITIES.
3. THE STREETS SURROUNDING THIS DEVELOPMENT AND ANY STREET USED FOR CONSTRUCTION ACCESS THERETO SHALL BE KEPT FREE FROM MUD AND CONSTRUCTION DEBRIS AND SHALL BE CLEANED THROUGHOUT THE DAY AS NEEDED.
4. ALL FILLS PLACED UNDER PROPOSED STORM AND SANITARY LINES AND/OR PAVED AREAS SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST" (ASTM D-1557) FOR THE ENTIRE DEPTH OF THE FILL. COMPACTED GRANULAR BACKFILL IS REQUIRED IN ALL TRENCH EXCAVATION AND UNDER PAVED AREAS. ALL TESTS SHALL BE PERFORMED UNDER THE DIRECTION OF AND VERIFIED BY SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS.
5. ALL SEWER CONSTRUCTION AND CONNECTIONS SHALL BE AS APPROVED BY THE METROPOLITAN ST. LOUIS SEWER DISTRICT AND IN ACCORDANCE WITH THE STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWERS AND DRAINAGE FACILITIES.
6. SANITARY SEWER SERVICE: NEW SANITARY SEWER LATERAL SHALL BE 6" PVC AT 2% MINIMUM SLOPE. FOLLOW ALL MSD STANDARDS FOR MACHINE TAP AND ROLL-IN WYE TRENCHING AND BACKFILL. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3 FEET OF COVER OVER THE PROPOSED SEWER LATERAL.
7. WATER SERVICE: NEW WATER SERVICE SHALL BE 1" WITH STANDARD RESIDENTIAL METER ACCORDING TO MISSOURI AMERICAN WATER COMPANY STANDARDS. THE CONTRACTOR SHALL COORDINATE WITH MISSOURI AMERICAN WATER COMPANY TO DETERMINE THE SIZE OF EXCAVATION NECESSARY FOR INSTALLATION OF THE 1" WATER SERVICE LINE, VALVE, AND TAP. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION, BACKFILL, AND THE SUPPLY AND INSTALLATION OF THE VALVE BOXES AND APPROPRIATE FRAME AND COVERS FOR THE 1" SERVICE LINE VALVE.
8. GAS SERVICE: NEW GAS SERVICE SHALL BE DETERMINED BY SPIRE GAS COMPANY. SPIRE GAS COMPANY SHALL DESIGN AND CONSTRUCT NEW GAS METER AND NEW GAS PIPING FROM THE BUILDING IN APPROXIMATE LOCATION SHOWN TO THE EXISTING GAS MAIN. CONTRACTOR SHALL COORDINATE WITH SPIRE GAS TO SCHEDULE NEW CONSTRUCTION WORK.
9. ALL TRASH AND DEBRIS ON-SITE, EITHER EXISTING OR FROM CONSTRUCTION, MUST BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE.
10. DEBRIS AND FOUNDATION MATERIAL FROM ANY EXISTING ON-SITE BUILDING OR STRUCTURE WHICH IS SCHEDULED TO BE RAZED FOR THIS DEVELOPMENT MUST BE PROPERLY DISPOSED OF OFF-SITE.
11. ANY WELLS, CISTERNS, AND/OR SPRINGS, WHICH MAY EXIST ON THIS PROPERTY, SHOULD BE LOCATED AND SEALED IN A MANNER ACCEPTABLE TO THE CITY OF LADUE AND THE MODNR.
12. ALL EXISTING UTILITY CONNECTIONS ARE TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE DEVELOPER OF ANY CONFLICTS OR ISSUES PRIOR TO CONSTRUCTION.
13. DEMOLITION OF EXISTING STRUCTURES ARE NOT PART OF THIS CONTRACT.
14. RETAINING WALL DESIGN BY OTHERS.
15. THE PROPOSED STORMWATER STORAGE BED BMP'S ARE UNDER THE CITY OF LADUE JURISDICTION.
16. SWIMMING POOL BACKWASH FILTER MUST BE CONNECTED TO THE SANITARY SEWER. DISCHARGE MUST NOT EXCEED FIFTY (50) GALLONS PER MINUTE.
17. BACKWATER VALVE SHALL BE REQUIRED ON ALL BUILDING LATERALS PER LOCAL PLUMBING CODE.
18. MANUAL DRAINAGE OF POOL SHALL BE DIRECTED TO SANITARY CLEANOUT.

GRADING NOTES:

1. ALL GRADING AND DRAINAGE SHALL BE PER CITY OF LADUE AND METROPOLITAN ST. LOUIS SEWER DISTRICT STANDARDS.
2. STORM WATER PIPES CANNOT DISCHARGE ANY CLOSER THAN 10 FEET TO A PROPERTY LINE.
3. THE CITY OF LADUE GRADING INSPECTOR SHALL BE ALLOWED TO REQUEST MINOR CHANGES TO THE FINISH GRADE AND/OR STOR WATER RUNOFF DESIGN.
4. NO SLOPES SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL), UNLESS JUSTIFIED BY GEOTECHNICAL REPORT WHICH HAS BEEN ACCEPTED/APPROVED BY THE CITY OF LADUE. NO SLOPES WITHIN MOUNT RIGHT-OF-WAY SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL).
5. ALL DISTURBED AREAS ARE TO BE SEEDED AND STRAWED.
6. SILTATION CONTROL FENCING SHALL BE INSTALLED AT THE LOW SIDE OF THE JOB SITE TO PREVENT SOIL EROSION ONTO ADJACENT PROPERTIES.

LEGEND

UTILITY POLE	(R. & S.) RECORD and SURVEYED
GUY WIRE	D.B. DEED BOOK
LIGHT STANDARD	P.G. PAGE
ELEC. YARD LIGHT	N/F NOW OR FORMERLY
GAS METER	— TELEPHONE LINE
GAS VALVE	— GAS LINE MARK
FIRE HYDRANT	— UNDERGROUND ELEC.
WATER METER	— OVERHEAD UTILITY
DOWNSPOUT	— WATERLINE
MANHOLE	TREE WITH SIZE
CLEAN-OUT	WATER MANHOLE
FLOW ARROW	WATER SHUTOFF VALVE
(500) PROP. CONTOUR	BORE LOCATION
500 EX. CONTOUR	

GRAPHIC SCALE  
( IN FEET )  
1 inch = 20 ft



CALL BEFORE  
YOU DIG!  
1-800-DIG-RITE

EX. SAN MH  
19K4-116S  
TOP=535.59  
FL=526.99

EX. SAN MH  
19K4-115S  
TOP=536.05  
FL=529.30

EX. SAN MH  
19K4-040S  
TOP=521.61  
FL=516.51 IN W  
FL=511.76 OUT E

EX. GI  
19K4-115D  
TOP=513.72  
FL=510.52

EX. SAN MH  
19K4-041S  
TOP=512.26  
FL=505.36

EX. SAN MH  
19K4-160S  
TOP=532.03  
FL=522.93

EX. SAN MH  
19K4-159S  
TOP=544.32  
FL=535.82

TERRA  
DESIGN

3121 Park Hampton  
St. Louis, MO. 63139

PRELIMINARY

6/29/2020

WHALEN CUSTOM HOMES

OWNER/DEVELOPER:

9029 CLAYTON RD.

PROJECT TITLE AND LOCATION:

PROJ. # - BOMBD-XXXX, BASE MAP 19K

JOB NUMBER: 20-019

DATE: 6/25/2020

DRAWN BY: TBM

CHECKED BY: MEV

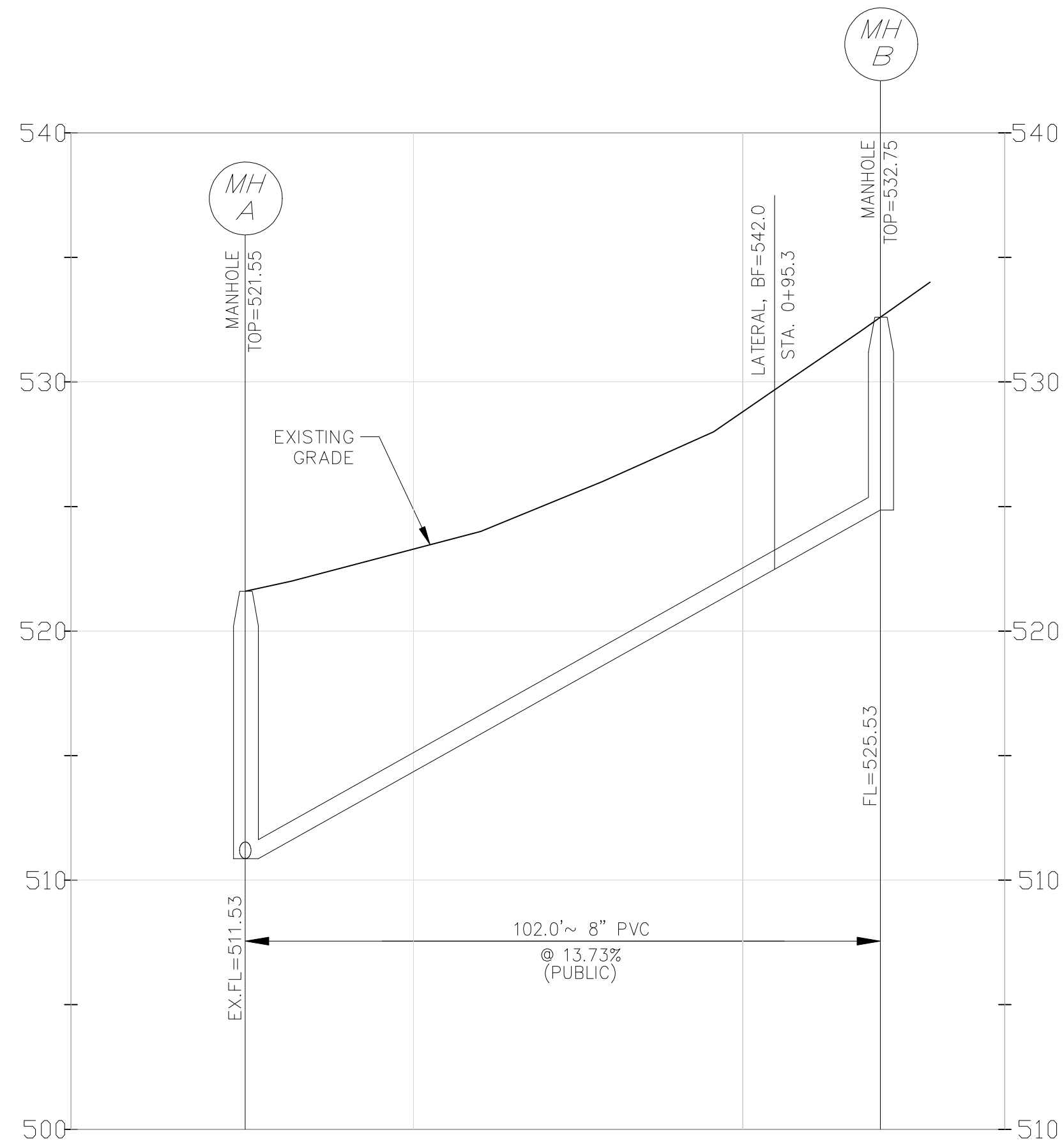
SHEET TITLE: SITE &  
GRADING PLAN

SHEET NUMBER:

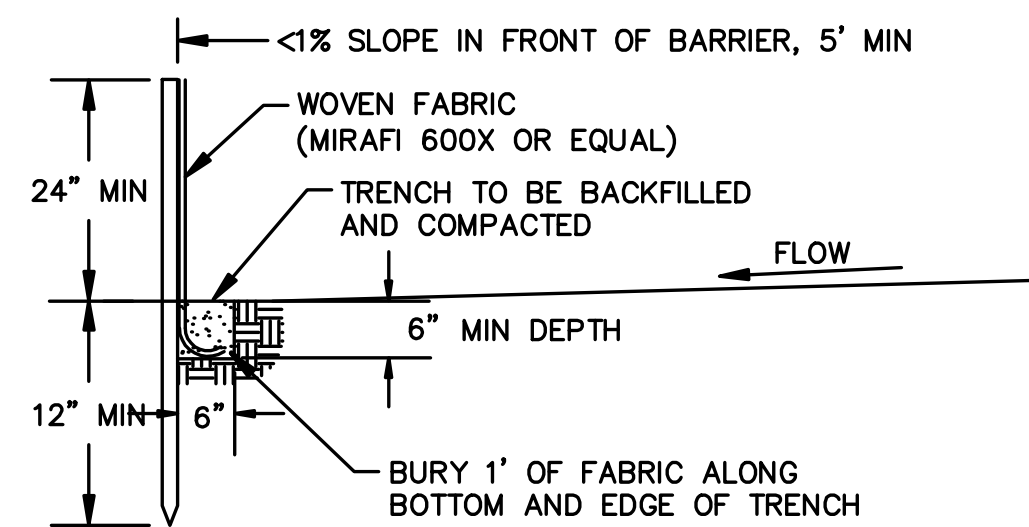
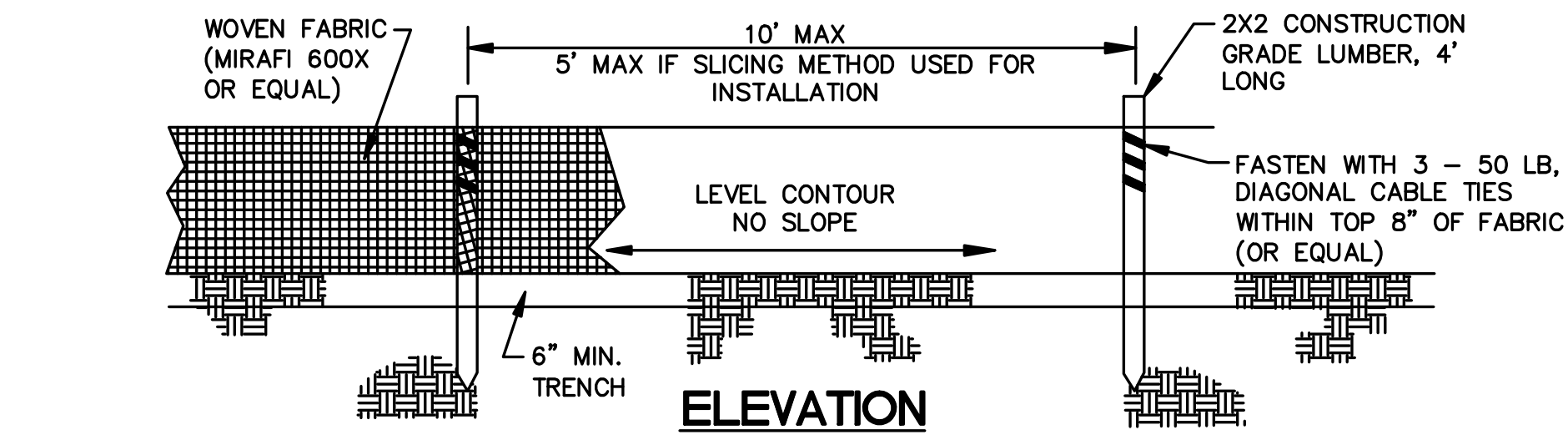
C1

BENCHMARK

ELEVATIONS WERE DETERMINED USING THE MODOT VRS NETWORK OF CONTINUOUSLY OPERATING REFERENCE STATIONS FOR 1983 EAST ZONE.



SANITARY PROFILE

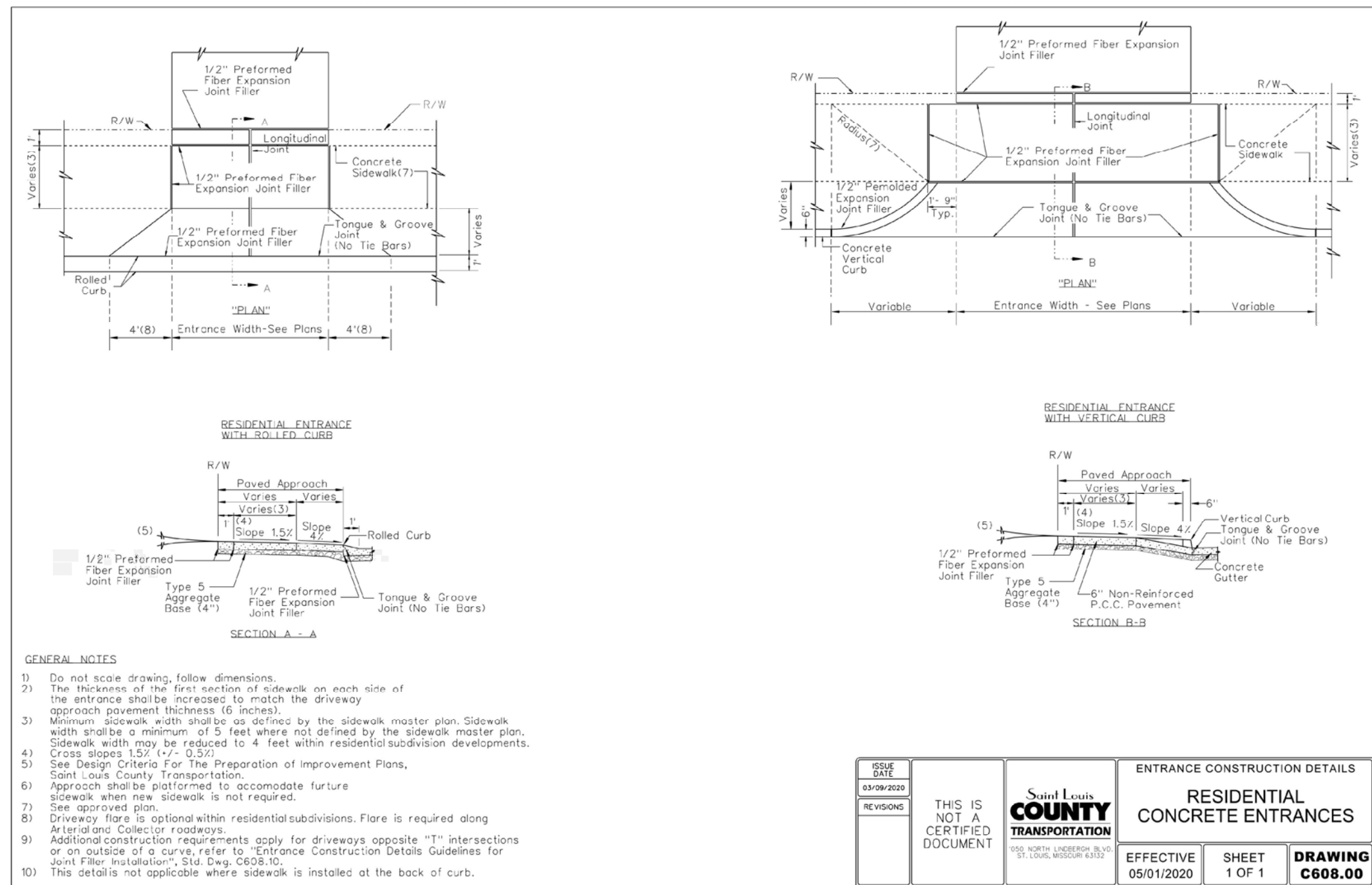


SPACING ALONG SLOPES

3:1 SLOPES	30' FENCE TO FENCE
3:1 TO 10:1 SLOPES	50' FENCE TO FENCE
SLOPES <10%	100' FENCE TO FENCE

- NOTES:
1. SEE PLAN FOR INITIAL INSTALLATION LOCATION.
  2. INSTALL SILT FENCE PRIOR TO DISTURBANCE OF NATURAL VEGETATION
  3. INSPECT & MAINTAIN FENCE AFTER EVERY RAINSTORM OR MINIMUM 2 WEEK INTERVALS DURING DRY PERIODS.
  4. SILT IS TO BE REMOVED WHEN DEPTH ALONG FENCE REACHES 12" OR 1/2 THE FENCE HEIGHT.
  5. STABILIZE ANY AREAS SUSCEPTIBLE TO UNDERMINING AS SOON AS THEY ARE NOTICED.
  6. EXTEND/ADD FENCE AS NECESSARY TO MAINTAIN/PROVIDE ADEQUATE PROTECTION.
  7. UPON ESTABLISHMENT OF ADEQUATE VEGETATION, REMOVE FENCE, REGRADE AND VEGETATE TRENCH AREAS.

SILT FENCE  
N.T.S.



TERRA  
DESIGN

3121 Park Hampton  
St. Louis, MO. 63139

PRELIMINARY

6/29/2020

WHALEN CUSTOM HOMES

OWNER/DEVELOPER:

9029 CLAYTON RD.

PROJECT TITLE AND LOCATION:

PROJ. # - 20MBD-XXXX, BASE MAP 19K

JOB NUMBER: 20-019

DATE: 6/25/2020

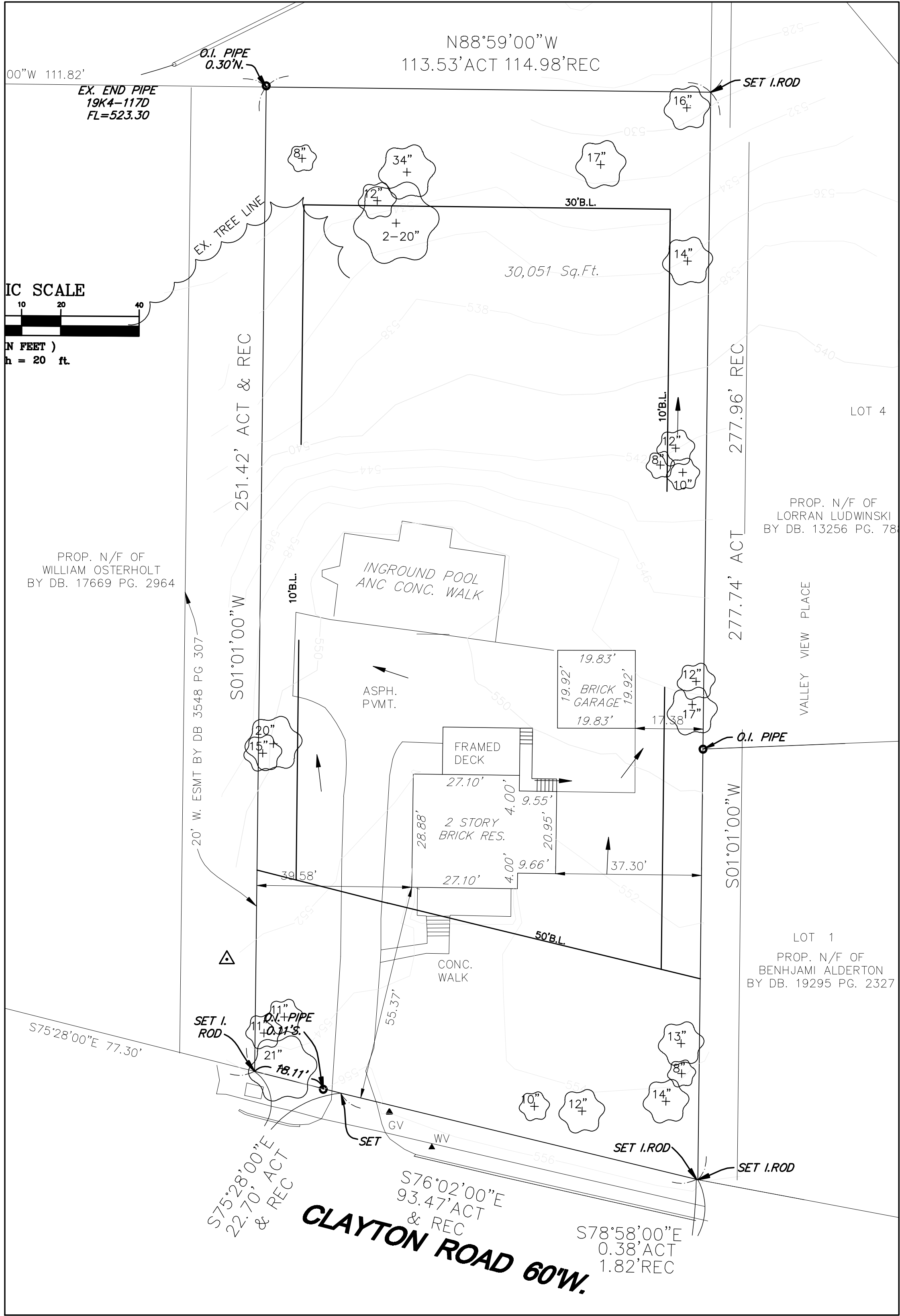
DRAWN BY: TBM

CHECKED BY: MEV

SHEET TITLE:  
PROFILE & DETAILS

SHEET NUMBER:

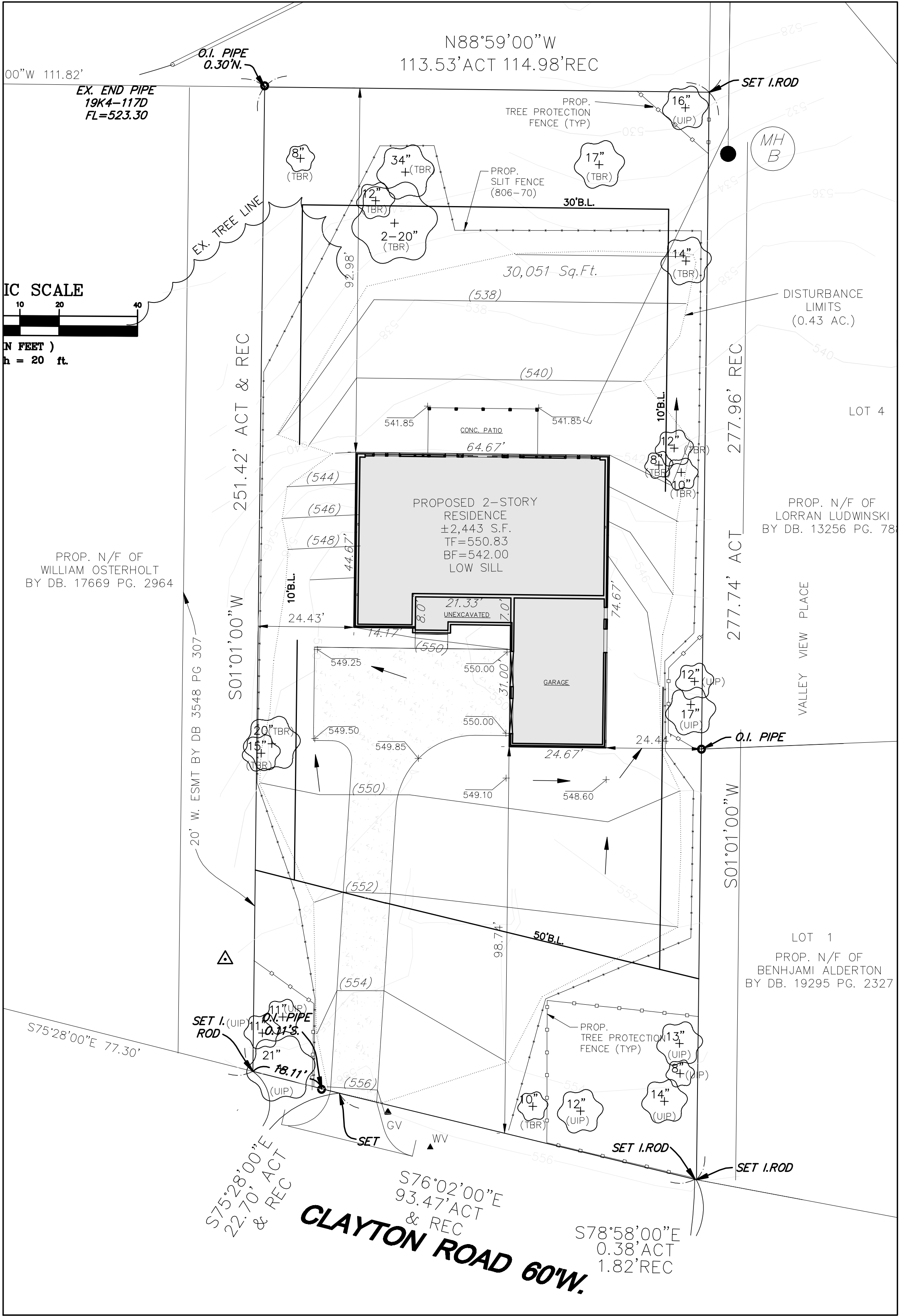
C3



PRE DEVELOPED CONDITIONS (0.69 AC)

PERVIOUS AREA = 0.55 AC.  
x PI=1.70 (15 YR)  
TOTAL PERVIOUS AREA CFS = 0.94 CFS  
  
IMPERVIOUS AREA = 0.14 AC.  
x PI=3.54 (15 YR)  
TOTAL IMPERVIOUS AREA CFS = 0.50 CFS  
  
TOTAL = 1.44 CFS

**DIFFERENTIAL RUNOFF CALCULATIONS (15 YR)**  
**PRE DEVELOPED CONDITIONS 1.44 CFS**  
**POST DEVELOPED CONDITIONS 1.39 CFS**  
**DIFFERENTIAL RUNOFF RATE -0.05 CFS**



POST DEVELOPED CONDITIONS (0.69 Ac.)

PERVIOUS AREA = 0.57 AC.  
x PI=1.70 (15 YR)  
TOTAL PERVIOUS AREA CFS = 0.97 CFS  
  
IMPERVIOUS AREA = 0.12 AC.  
x PI=3.54 (15 YR)  
TOTAL IMPERVIOUS AREA CFS = 0.42 CFS  
  
TOTAL=1.39 CFS

**STORMWATER MANAGEMENT NOTE:**  
  
LAND AREA DISTURBED = 0.43 ACRES  
  
ANY FUTURE LAND DISTURBANCE AND/OR INCREASE IN IMPERVIOUS AREA ON THIS SITE REQUIRES ADDITIONAL STORM WATER MANAGEMENT PER REGULATIONS IN PLACE AT THAT TIME.

**TERRA  
DESIGN**  
3121 Park Hampton  
St. Louis, MO. 63139

6/25/2020

**WHALEN CUSTOM HOMES**  
338 S. Kirkwood Road  
Kirkwood, MO 63122  
314-821-1745

**9029 CLAYTON ROAD**  
Ladue, MO 63124

JOB NUMBER: 20-019

DATE: 6/25/2020

DRAWN BY: TBM

CHECKED BY: MEV

SHEET TITLE: DRAINAGE  
AREA MAPS

SHEET NUMBER:

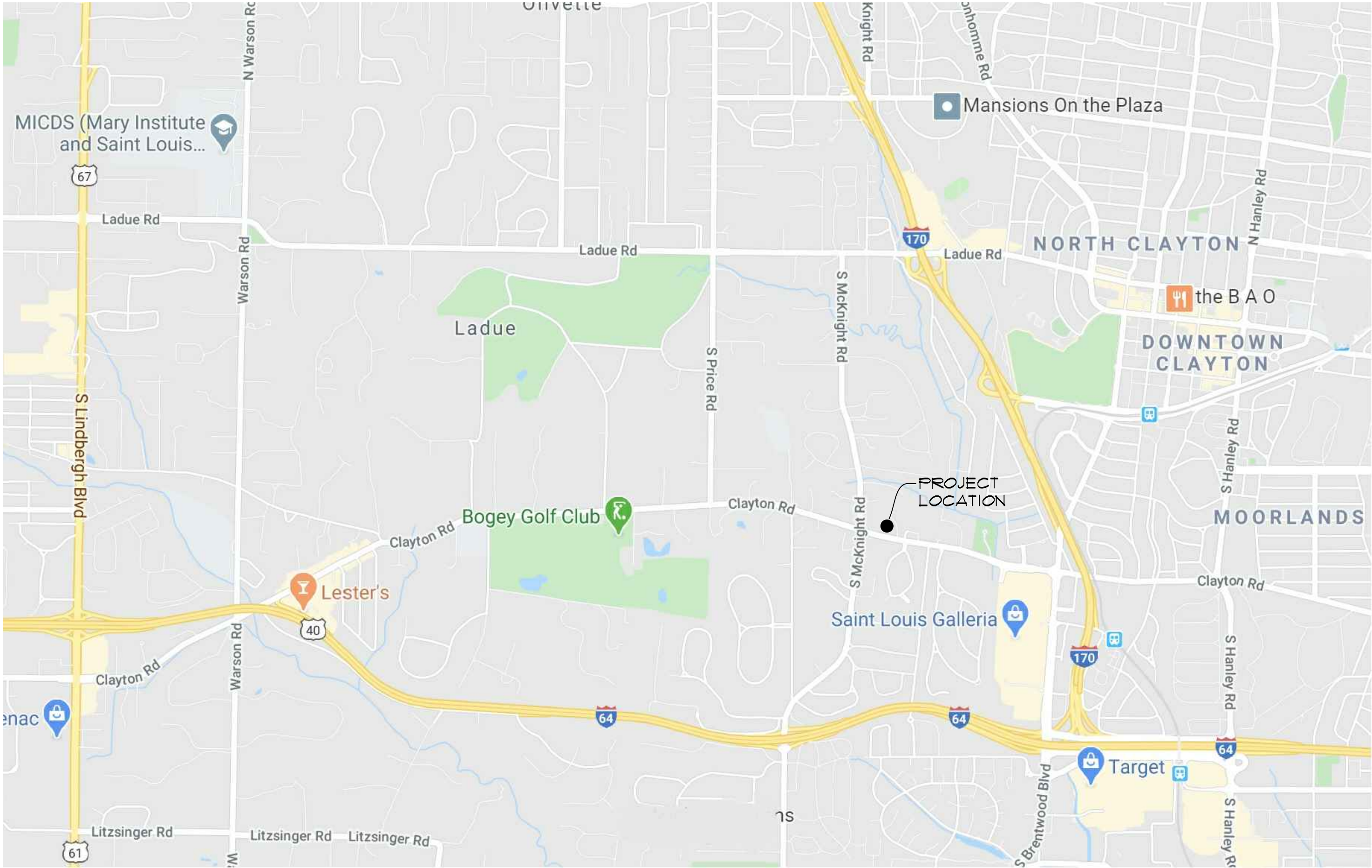
C4

PROJ. # - 20MBD-00156, BASE MAP 19M



PROJECT CONSULTANTS	PROJECT INFORMATION																																		
<b>ARCHITECT</b> THOMAS ALAN GROUP 23 NORTH GORE AVENUE SUITE 303 WEBSTER GROVES, MO 63119 PHONE: (314) 301-9975 CHRIS PIKE: (314) 913-4106 EMAIL: CPIKE@TAG-STL.COM AJ CALTETT: (314) 920-7801 EMAIL: JCATLETT@TAG-STL.COM	<b>APPLICABLE BUILDING CODES:</b> INTERNATIONAL RESIDENTIAL CODE (2015) INTERNATIONAL MECHANICAL CODE (2015) UNIFORM PLUMBING CODE (2015) NATIONAL ELECTRIC CODE (2014) LOCAL CITY AND ORDINANCES  <b>CONSTRUCTION TYPE:</b> TYPE VB (5B) UNPROTECTED, UNSPRINKLERED  <b>OCCUPANCY:</b> SINGLE FAMILY DWELLING																																		
<b>STRUCTURAL CONSULTANT</b> DREAM RUNNERS, LTD. 43 CAMROSE GREEN MARYVILLE, ILLINOIS 62062 PHONE: (618) 550-9417 FAX: (618) 288-3782 WEB: WWW.DREAMRUNNERS-LTD.COM	<b>SHEET TITLE INDEX</b>																																		
<b>GENERAL CONTRACTOR</b> WHALEN CUSTOM HOMES 338 S. KIRKWOOD RD. SUITE 103 KIRKWOOD, MO 63122 PHONE: (314) 575-7645 WEB: WWW.WHALENCUSTOMHOMES.COM	<b>COVER SHEET</b>  <table><tr><td>A1</td><td>GENERAL NOTES</td></tr><tr><td>A2</td><td>GENERAL NOTES</td></tr><tr><td>A3</td><td>FOUNDATION PLAN &amp; STAIR SECTION</td></tr><tr><td>A4</td><td>FINISHED LOWER LEVEL</td></tr><tr><td>A5</td><td>FIRST FLOOR PLAN</td></tr><tr><td>A6</td><td>ATTIC PLAN AND ROOF PLAN</td></tr><tr><td>A7</td><td>FRONT ELEVATION &amp; LEFT ELEVATION</td></tr><tr><td>A8</td><td>REAR ELEVATION &amp; RIGHT ELEVATION</td></tr><tr><td>A9</td><td>SECTIONS AND DETAILS</td></tr><tr><td>A10</td><td>FINISHED LOWER LEVEL ELECTRICAL</td></tr><tr><td>A11</td><td>FIRST FLOOR PLAN ELECTRICAL</td></tr><tr><td>A12</td><td>UNFINISHED ATTIC ELECTRICAL</td></tr><tr><td>S1</td><td>STRUCTURAL FOUNDATION PLAN</td></tr><tr><td>S2</td><td>STRUCTURAL FIRST FLOOR PLAN</td></tr><tr><td>S3</td><td>STRUCTURAL ATTIC PLAN</td></tr><tr><td>S4</td><td>STRUCTURAL ROOF/FRAMING PLAN</td></tr><tr><td>S5</td><td>STRUCTURAL SECTIONS AND DETAILS</td></tr></table>	A1	GENERAL NOTES	A2	GENERAL NOTES	A3	FOUNDATION PLAN & STAIR SECTION	A4	FINISHED LOWER LEVEL	A5	FIRST FLOOR PLAN	A6	ATTIC PLAN AND ROOF PLAN	A7	FRONT ELEVATION & LEFT ELEVATION	A8	REAR ELEVATION & RIGHT ELEVATION	A9	SECTIONS AND DETAILS	A10	FINISHED LOWER LEVEL ELECTRICAL	A11	FIRST FLOOR PLAN ELECTRICAL	A12	UNFINISHED ATTIC ELECTRICAL	S1	STRUCTURAL FOUNDATION PLAN	S2	STRUCTURAL FIRST FLOOR PLAN	S3	STRUCTURAL ATTIC PLAN	S4	STRUCTURAL ROOF/FRAMING PLAN	S5	STRUCTURAL SECTIONS AND DETAILS
A1	GENERAL NOTES																																		
A2	GENERAL NOTES																																		
A3	FOUNDATION PLAN & STAIR SECTION																																		
A4	FINISHED LOWER LEVEL																																		
A5	FIRST FLOOR PLAN																																		
A6	ATTIC PLAN AND ROOF PLAN																																		
A7	FRONT ELEVATION & LEFT ELEVATION																																		
A8	REAR ELEVATION & RIGHT ELEVATION																																		
A9	SECTIONS AND DETAILS																																		
A10	FINISHED LOWER LEVEL ELECTRICAL																																		
A11	FIRST FLOOR PLAN ELECTRICAL																																		
A12	UNFINISHED ATTIC ELECTRICAL																																		
S1	STRUCTURAL FOUNDATION PLAN																																		
S2	STRUCTURAL FIRST FLOOR PLAN																																		
S3	STRUCTURAL ATTIC PLAN																																		
S4	STRUCTURAL ROOF/FRAMING PLAN																																		
S5	STRUCTURAL SECTIONS AND DETAILS																																		

ABBREVIATIONS							
ABV.	-ABOVE	DR.	-DOOR	IJS	-IN JOIST SPACE	SA	-SUPPLY AIR
A.F.F.	-ABOVE FINISHED FLOOR	D.S.	-DOWNSPOUT	INSUL.	-INSULATION	STRUCT.	-STRUCTURAL
AHU	-AIR HANDLING UNIT	DTL.	-DETAIL	I.B.	-IRONING BOARD	STL.	-STEEL
ALUM.	-ALUMINUM	DW	-DRYWALL	ITS	-IN TRUSS SPACE	S.D.	-SMOKE DETECTOR
ALT.	-ALTERNATE	DW. OPNG.	-DRYWALL OPENING	JST.	-JOIST	S.F.	-SQUARE FEET
ASPH.	-ASPHALT	EA.	-EACH	K.S.	-KNEE SPACE	SG-I	-TYPE I SAFETY GLAZING
BM.	-BEAM	E.I.F.S.	-EXTERIOR INSULATION FINISH	L.V.L.	-LAMINATED VENEER LUMBER	SG-II	-TYPE II SAFETY GLAZING
BP.	-BEAM POCKET	SYSTEM		LIN.	-LINEN	SH.	-SHELF/SHELVES
BRG.	-BEARING	EJ	-EXPANSION JOINT	LNDRY	-LAUNDRY	SHT.	-SHEET
BRK.	-BRICK	ELEC.	-ELECTRIC/ELECTRICAL	LT.	-LIGHT	SHWR.	-SHOWER
BRKT.	-BRACKET	ELEV.	-ELEVATION	MAS.	- MASONRY	SL	-SLIDING
BRD.	-BOARD	EQ.	-EQUAL	MAT'L.	-MATERIAL	SPECS.	-SPECIFICATIONS
BLK.	-BLOCK	EQUIP.	-EQUIPMENT	MAX.	-MAXIMUM	SW.	-SWITCH
BOT.	-BOTTOM	ES.	-EACH SIDE	MECH.	-MECHANICAL	T.J.I.	-TRUSS JOIST INCORPORATED
CAB.	-CABINET	EXIST.	-EXISTING	MIN.	-MINIMUM	TOS	-TOP OF SLAB
C.J.	-CONTROL JOINT,CEILING JOISTS	EXT.	-EXTERIOR	MISC.	-MISCELLANEOUS	T&G	-TONGUE AND GROOVE
CLG.	-CEILING	EXH.	-EXHAUST	M.O.	-MASONRY OPENING	TEMP.	-TEMPERED
CMU	-CONCRETE MASONRY UNIT	FD	-FLOOR DRAIN	MTL.	-METAL	T.B.R.	-TO BE REMOVED
CSMU	-CALCIUM SILICATE MASONRY	F.J.	-FLOOR JOISTS	N/A	-NOT APPLICABLE	TV	-TELEVISION
UNIT		FLR.	-FLOOR	N.I.C.	-NOT IN CONTRACT	TYP.	-TYPICAL
C.O.	-CASED OPENING	FND.	-FOUNDATION	N.T.S.	-NOT TO SCALE	T.O.C.	-TOP OF CONCRETE
CONC.	-CONCRETE	F.P.	-FIREPLACE	OI	-OVER	T.O.P.	-TOP OF PLATE
CONT.	-CONTINUOUS	FPHB	-FREEZE-PROOF HOSE BIBB	O.C.	-ON CENTER	U.C.	-UNDER CABINET
CONST.	- CONSTRUCTION	FTG.	-FOOTING	OPT.	-OPTIONAL	UCR	-UNDER COUNTER REFRIGERATOR
C.S.	-CORNER SET	FURN.	-FURNACE	O.H.	-OVERHEAD, OVERHANG	U.L.	-UNDERWRITER'S LABORATORY
CORR.	-CORRIDOR	F.V.	-FIELD VERIFY	PFA	-POST FROM ABOVE	U.N.O.	-UNLESS NOTED OTHERWISE
CPT.	-CARPET	GA.	-GAGE	IE	-PLATE	W	-WASHER
CT	-CERAMIC TILE	GEN.	-GENERAL	PKT.	-POCKET	W/	-WITH
D	-DRYER	GFI	-GROUND FAULT INTERRUPTOR	PR.	-PAIR	W.I.C.	-WALK-IN CLOSET
D.B.	-DRAWER BASE	GL.	-GLASS	PRE-FAB	-PREFABRICATED	WD.	-WOOD
DBL.	-DOUBLE	G&N	-GLUE AND NAIL	P&S	-POLE AND SHELF	WDW	-WINDOW
DBO	-DESIGNED BY OTHERS	GR.	-GRADE	P.S.L.	-PARALLEL STRAND LUMBER	WO	-WITHOUT
DEFS.	-DIRECT EXTERIOR FINISHING	GRAN.	-GRANULAR FILL	P.T.	-PRESSURE TREATED	V.	-VANITY
SYSTEM		H.C.	-HANDICAP ACCESSIBLE	R.R.	-ROOF RAFTER	V.B.	-VAPOR BARRIER
DIFS.	-DECORATIVE INTERIOR FINISHING	HDR.	-HEADER	R.H.	-RAISED HEEL	WP	-WATERPROOF
SYST.		HR.	-HOUR, HANDRAIL	RA	-RETURN AIR	WWF	-WELDED WIRE FABRIC
DIM.	-DIMENSION	HRDWD.	-HARDWOOD	REF.	-REFRIGERATOR		
DISP.	-DISPOSAL	HT.	-HEIGHT	REQ'D.	-REQUIRED		
DN.	-DOWN	HWH	-HOT WATER HEATER	RV	-ROOF VENT		



## PROJECT VICINITY MAP

NO SCALE



# THOMAS ALAN GROUP

ARCHITECTURE | DESIGN | INTERIORS

<b>THOMAS ALAN GROUP</b> <small>THIS DRAWING AND DETAILS, OR IF ARE THE SOLE PROPERTY OF THE ARCHITECT AND MAY BE USED OR IN PART OR FOR ANY OTHER PURPOSES OF PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. COPYRIGHT © 2020 THOMAS ALAN GROUP</small>			
<small>CHRISTOPHER THOMAS PIKE MO# 2011033866 EXPIRATION DATE: 12/31/21</small>			
<small>THE PROFESSIONAL ARCHITECT'S SEAL AFFIXED TO THIS SHEET APPLIES ONLY TO THE MATERIAL AND WORK SHOWN ON THIS SHEET. ALL DRAWINGS, PREPARED BY THIS ARCHITECT, AND THE ARCHITECT EXPRESSLY DISCLAIMS ANY AND ALL RESPONSIBILITY FOR SUCH PLANS, DRAWINGS OR DOCUMENTS NOT EMERGING THIS SEAL.</small>			
No.	Description	Date	
1	PERMIT SET	6/11/2020	
2	REV PER OWNER	7/28/2020	
A New Residence for: <b>Mr. and Mrs. Clark</b> 9029 Clayton Road, Ladue, Missouri 63117			
<b>THOMAS ALAN GROUP</b> ARCHITECTURE   DESIGN   INTERIORS 23 North Gore Ave., Suite 303 Webster Groves, MO 63119 (314) 301-9975 www.ThomasAlanGroup.com			
<b>COVER PAGE</b>			
Sheet Number: COVER PAGE of 18			



No.	Description	Date
1	PERMIT SET	6/11/2020
2	REV PER OWNER	7/28/2020

**A New Residence for:**

Mr. and Mrs. Clark  
9029 Clayton Road  
Ladue, Missouri 63117

THOMAS ALAN GROUP  
ARCHITECTURE | DESIGN | INTERIORS

23 North Gore Ave., Suite 303  
Webster Groves, MO 63119  
(314) 301-9975  
[www.ThomasAlanGroup.com](http://www.ThomasAlanGroup.com)

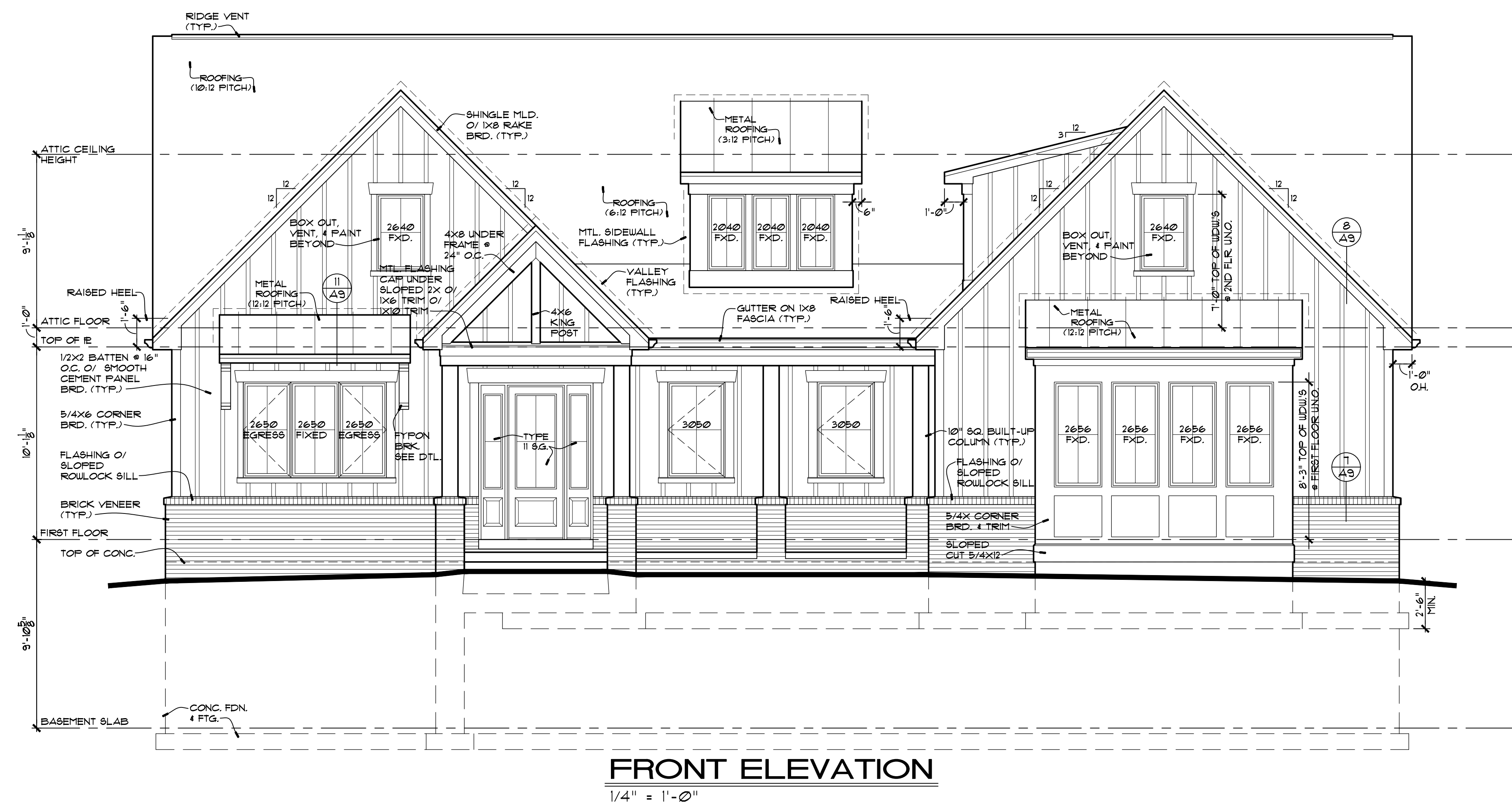
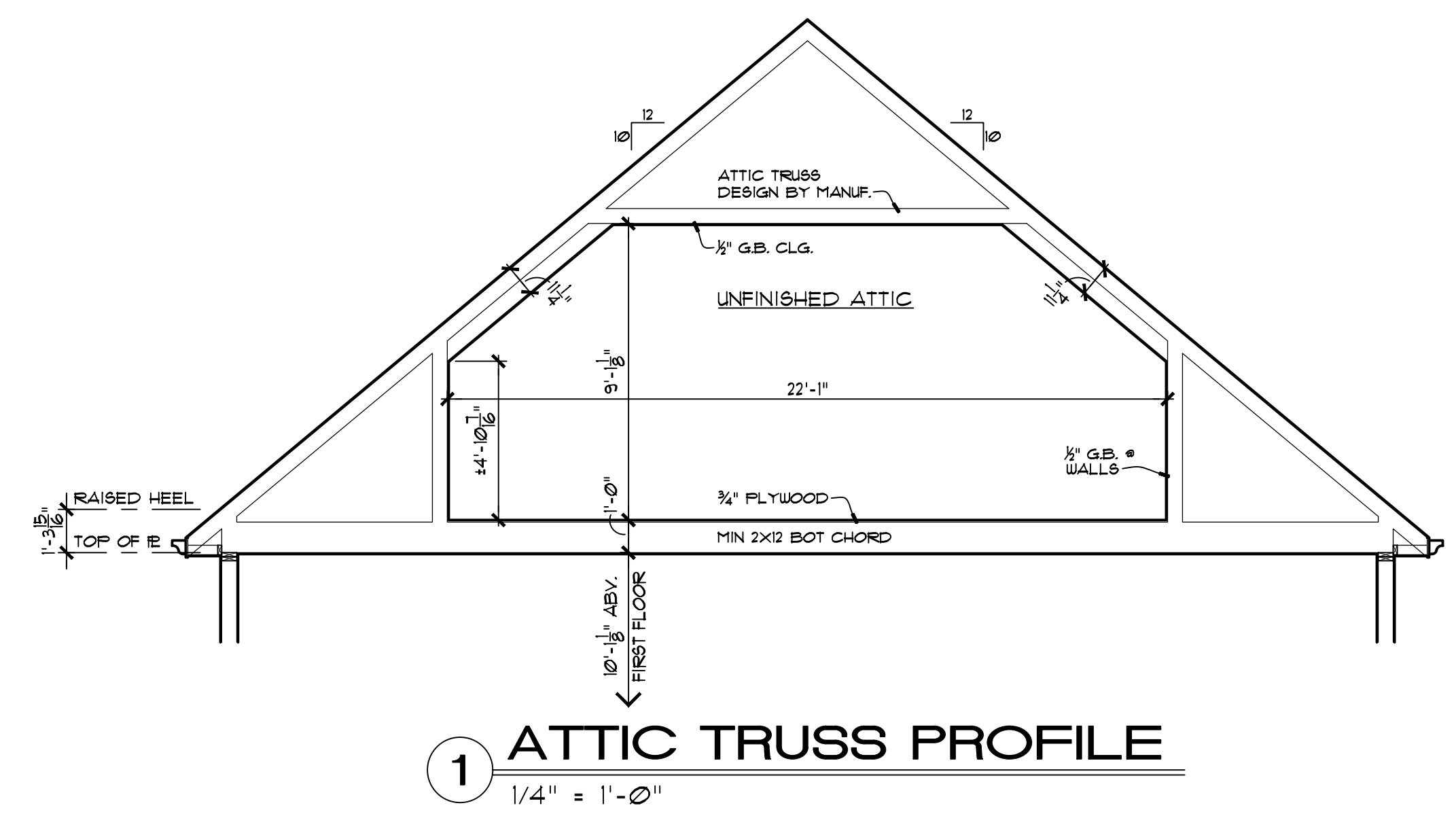
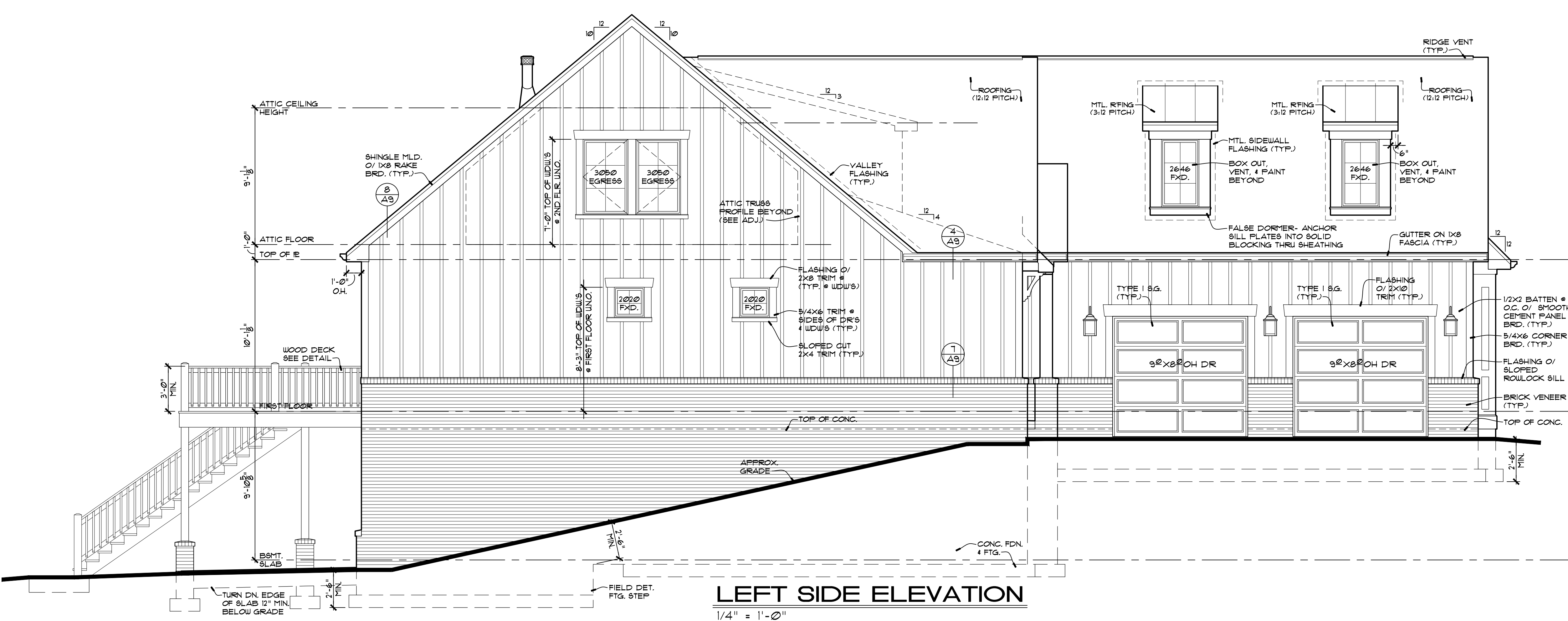
FRONT  
ELEVATION  
AND LEFT SIDE  
ELEVATION

Sheet Number:

A7  
of 18

### ELEVATION DRAWING NOTES

1. NOT USED.
2. SEE PLANS, DETAIL SHEET, AND GENERAL NOTES FOR ADDITIONAL INFORMATION.
3. GRADE: SLOPE AWAY FROM FOUNDATION A MINIMUM OF 6" DROP WITHIN THE FIRST 10' OR TO A SWALE.
4. FOOTINGS & PIERS: SHALL EXTEND A MINIMUM OF 2'-6" BELOW FINISHED GRADE AND BEAR ON UNDISTURBED SOIL OR PREPARED FILL.
5. MASONRY VENEER: ALL SOLDIER AND ROWLOCK HEADERS, SILL & TRIM TO PROJECT ¾", UNLESS NOTED OTHERWISE.
6. CHIMNEY HEIGHT: SHALL EXTEND ABOVE ROOF MIN. 3'-0" AT POINT OF PENETRATION AND 2'-0" HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10' HORIZONTALLY.
7. DECK DOORS: PROVIDE GUARDRAIL ASSEMBLY OUTSIDE (2X4 TOP & BOTTOM RAIL W/ 2X2 BALUSTERS SPACED LESS THAN 4" APART; 36" MIN. HEIGHT ABV. FINISH FLR) UNTIL DECK IS BUILT AND APPROVED.
8. ROOF FLASHING: PROVIDE CORROSION-RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, WALL AND CHIMNEY INTERSECTIONS, PORCHES, DECKS, ETC.  
OPEN VALLEYS: LINING TO BE CORROSION RESISTANT METAL FLASHING A MIN. OF 24" WIDE.  
CLOSED VALLEYS: MIN. ONE PLY OF SMOOTH ROLL ROOFING (TYPE II OR III) A MINIMUM OF 24" WIDE.
9. CANTILEVERS: PROVIDE EXTERIOR GRADE SOFFIT (SEAL ALL JOINTS)  
INSULATION BETWEEN FLOOR JOIST TO MINIMUM R-19 AND VENT JOIST CAVITIES.
10. BASEMENT HAVING CONC. FOUNDATION WALLS WITH MORE THAN 20% EXPOSURE ABOVE FINISHED GRADE SHALL BE INSULATED. SEE GENERAL NOTES.
11. GENERAL CONTRACTOR SHALL CONFIRM USE OF ALL TRIM ACCESSORIES AND MODEL NUMBERS WITH SUPPLIER BEFORE ORDERING.
12. WINDOW DESIGNATIONS ARE THOSE OF: 'GENERIC'
13. WINDOWS/ILLS, WHERE THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS LESS THAN 18" ABOVE THE FINISHED FLOOR AND WHERE THE WINDOW IS LOCATED MORE THAN 12" ABOVE THE FINISHED GRADE OR OUTSIDE SURFACE BELOW, THE WINDOW SHOULD BE PROVIDED WITH A WINDOW OPENING CONTROL DEVICE PER SECTION R612.4.2 OF THE 2009 IRC.
14. ADDRESS NUMBERS: PROVIDE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS, OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER SECTION R319.1



No.	Description	Date
1	PERMIT SET	6/11/2020
2	REV PER OWNER	7/28/2020

A New Residence for:  
**Mr. and Mrs. Clark**  
9029 Clayton Road,  
Ladue, Missouri 63117

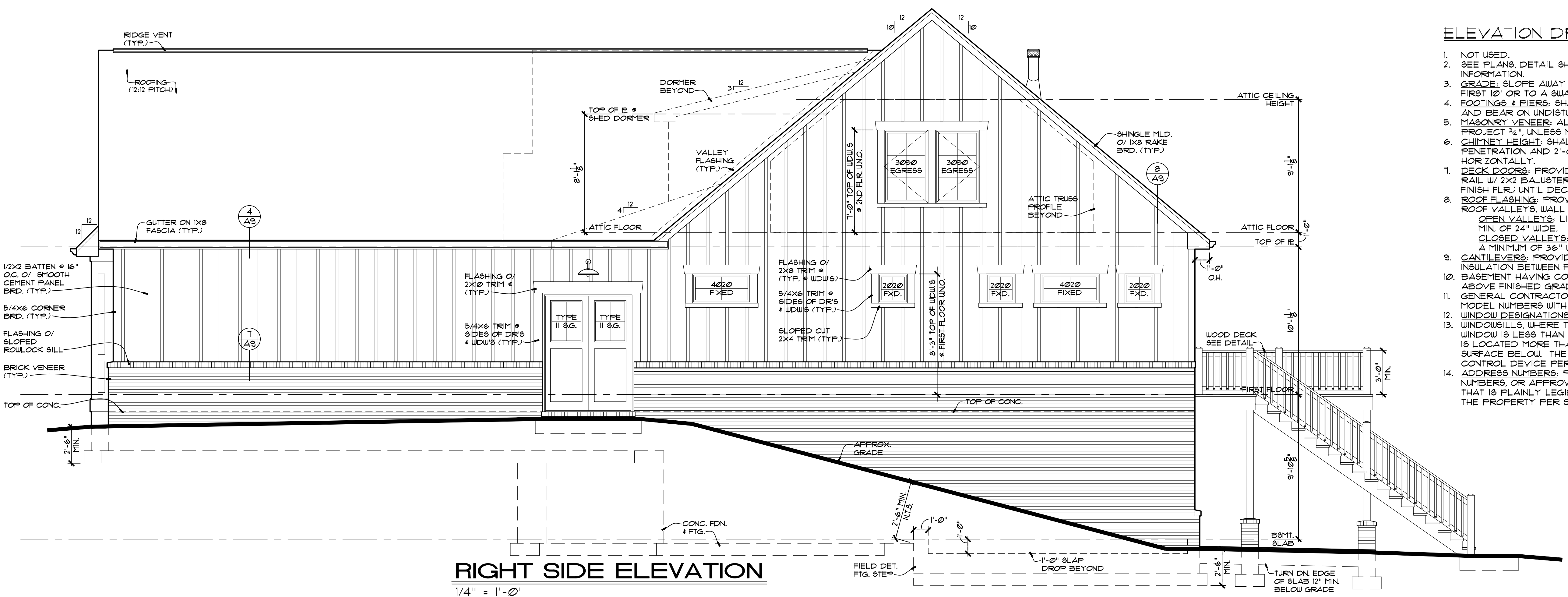
**THOMAS ALAN GROUP**  
ARCHITECTURE | DESIGN | INTERIORS  
23 North Gore Ave., Suite 303  
Webster Groves, MO 63119  
(314) 301-9975  
www.ThomasAlanGroup.com

**REAR  
ELEVATION AND  
RIGHT SIDE  
ELEVATION**

Sheet Number:  
**A8**  
of 18

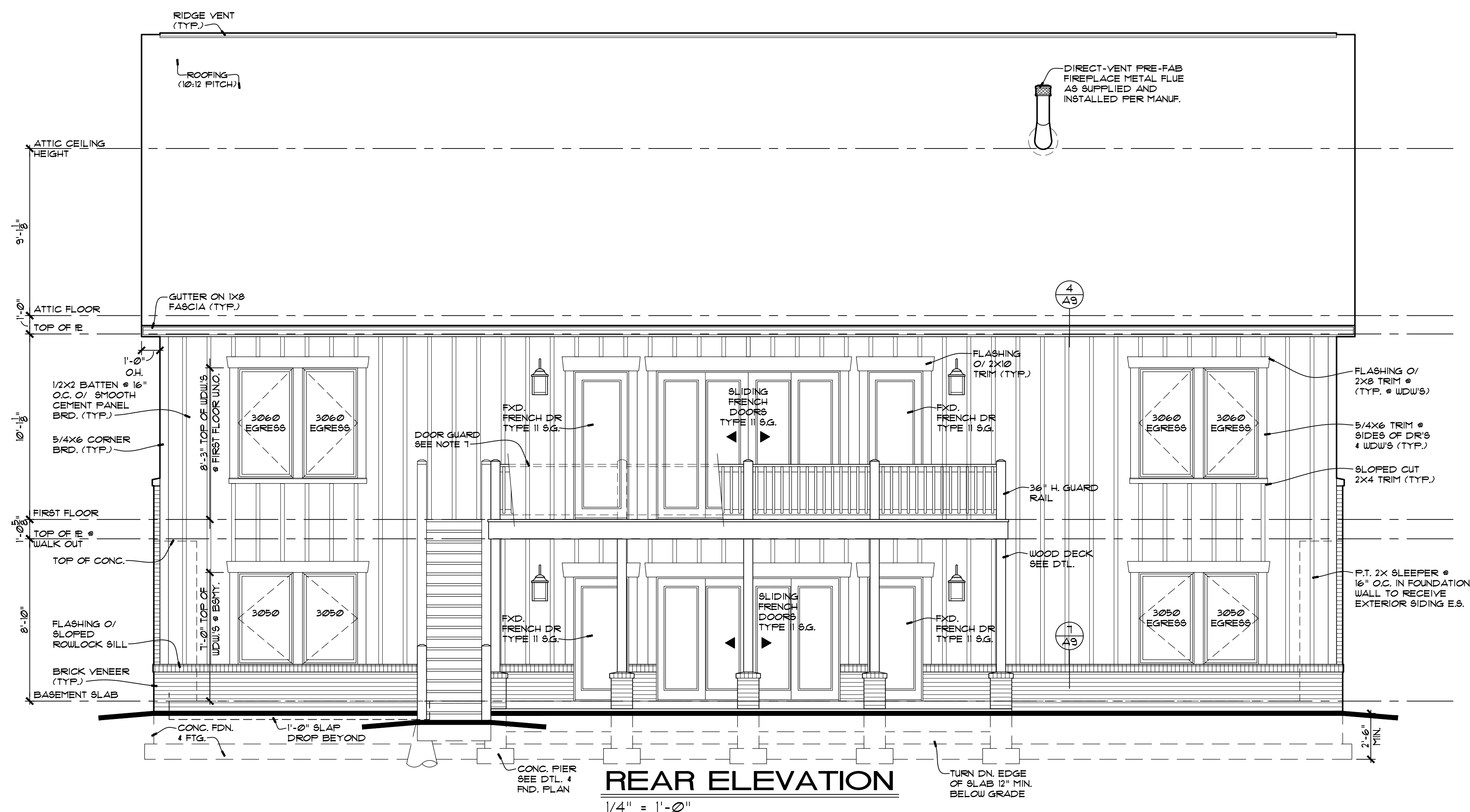
## ELEVATION DRAWING NOTES

- NOT USED.
- SEE FLANS, DETAIL SHEET, AND GENERAL NOTES FOR ADDITIONAL INFORMATION.
- GRADE: SLOPE AWAY FROM FOUNDATION A MINIMUM OF 6" DROP WITHIN THE FIRST 10' OR TO A SWALE.
- FOOTINGS & PIERS: SHALL EXTEND A MINIMUM OF 2'-6" BELOW FINISHED GRADE AND BEAR ON UNDISTURBED SOIL OR PREPARED FILL.
- MASONRY VENEER: ALL SOLDIER AND ROULOCK HEADERS, SILLS AND TRIM TO PROJECT 3/4", UNLESS NOTED OTHERWISE.
- CHIMNEY HEIGHT: SHALL EXTEND ABOVE ROOF MIN. 3'-0" AT POINT OF PENETRATION AND 2'-0" HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10' HORIZONTALLY.
- DECK DOORS: PROVIDE GUARDRAIL ASSEMBLY OUTSIDE (2X4 TOP & BOTTOM RAIL W/ 2X2 BALUSTERS SPACED LESS THAN 4" APART: 36" MIN. HEIGHT ABV. FINISH FLR.) UNTIL DECK IS BUILT AND APPROVED.
- ROOF FLASHING: PROVIDE CORROSION-RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, WALL AND CHIMNEY INTERSECTIONS, PORCHES, DECKS, ETC. OPEN VALLEYS: LINING TO BE CORROSION RESISTANT METAL FLASHING A MIN. OF 24" WIDE. CLOSED VALLEYS: MIN. ONE PLY OF SMOOTH ROLL ROOFING (TYPE II OR III) A MINIMUM OF 36" WIDE.
- CANTILEVERS: PROVIDE EXTERIOR GRADE SOFFIT (SEAL ALL JOINTS) INSULATION BETWEEN FLOOR JOIST TO MINIMUM R-19 AND VENT JOIST CAVITIES.
- BASEMENT HAVING CONC. FOUNDATION WALLS WITH MORE THAN 20% EXPOSURE ABOVE FINISHED GRADE SHALL BE INSULATED. SEE GENERAL NOTES.
- GENERAL CONTRACTOR SHALL CONFIRM USE OF ALL TRIM ACCESSORIES AND MODEL NUMBERS WITH SUPPLIER BEFORE ORDERING.
- WINDOW DESIGNATIONS ARE THOSE OF 'GENERIC'.
- WINDOWSILLS: WHERE THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS LESS THAN 24" ABOVE THE FINISHED FLOOR AND WHERE THE WINDOW IS LOCATED MORE THAN 12" ABOVE THE FINISHED GRADE OR OUTSIDE SURFACE BELOW, THE WINDOW SHOULD BE PROVIDED WITH A WINDOW OPENING CONTROL DEVICE PER SECTION R612.42 OF THE 2009 IRC.
- ADDRESS NUMBERS: PROVIDE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS, OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER SECTION R319.



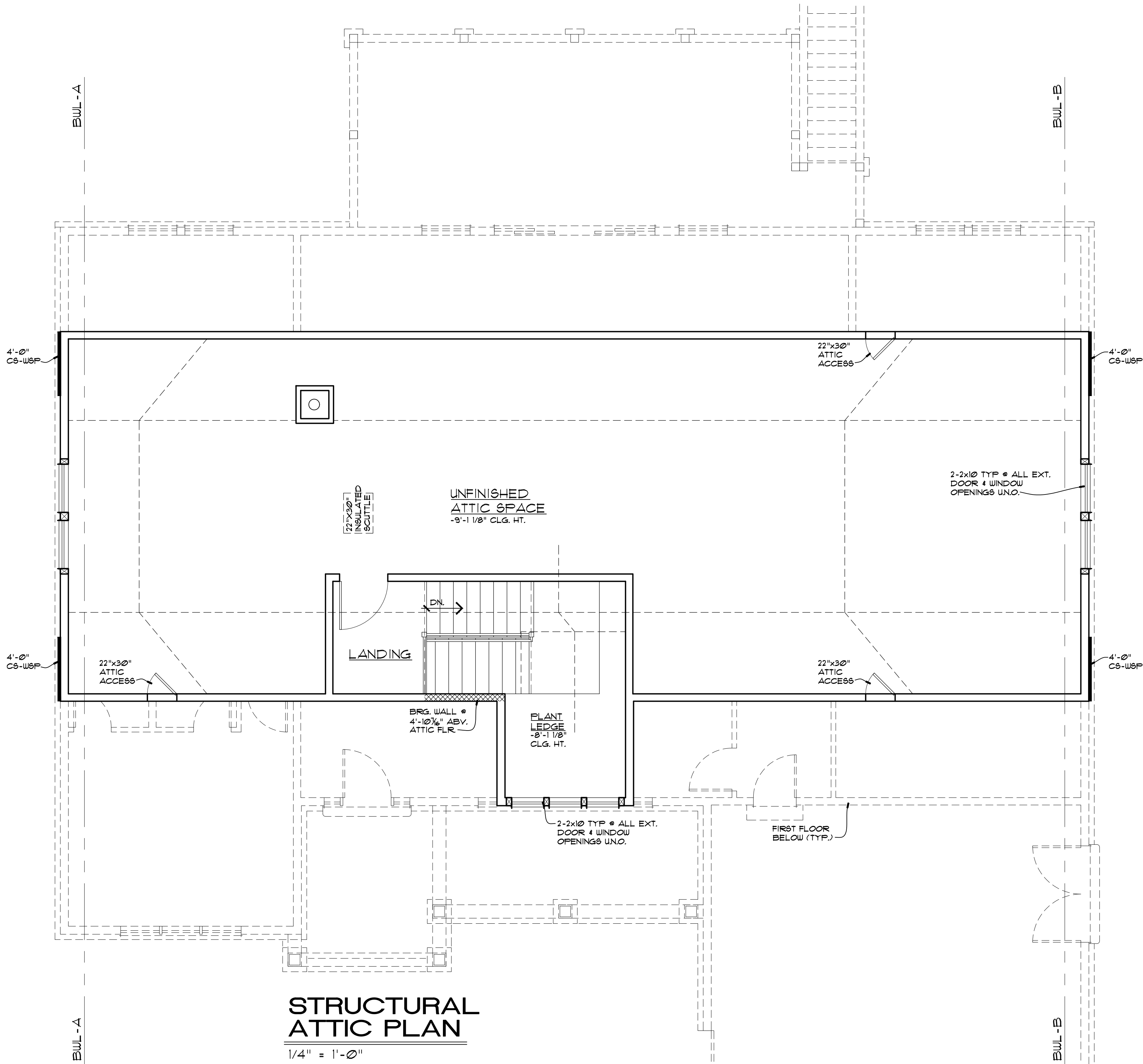
## RIGHT SIDE ELEVATION

1/4" = 1'-0"



## REAR ELEVATION

1/4" = 1'-0"



**STRUCTURAL  
ATTIC PLAN**

1/4" = 1'-0"

**STRUCTURAL GRAPHICS LEGEND**

--- BEAM OR HEADER	BRACED WALL SEGMENT
POST	PORTAL FRAME (SEE PLAN FOR TYPE)
BEARING WALL	SHEAR WALL
METAL HANGER	SIMPSON STEEL STRONG-WALL
POST FROM ABOVE (FFA)	HOLD DOWN DEVICE
BEARING WALL ABOVE	MOMENT FRAME
METAL STUD WALL	SIMPSON STRONG-FRAME

**STRUCTURAL ATTIC PLAN NOTES**

- ALL INTERIOR WALLS TO BE 3 1/2" (2X4 STUDS), UNLESS NOTED OTHERWISE (UNO).
  - POST INDICATED SHALL BE MINIMUM 2-2X WALL THICKNESS, GLUED AND NAILED UNLESS NOTED OTHERWISE. MINIMUM HEADER SIZE 2-2X10'S GLUED AND NAILED.
- EXCEPTIONS:
- POSTS CARRYING ROOF LOADS ONLY AND NOT EXCEEDING 8'-1" IN HEIGHT AND SUPPORTING HEADERS SPANNING 3'-0" OR LESS MAY CONSIST OF A SINGLE 2X CRIPPLE AND (1) FULL HT. UNBROKEN STUD UNLESS NOTED OTHERWISE.
  - WOOD POSTS SUPPORTING BEAMS ARE TO MATCH THE WIDTH OF THE FLANGE BEING SUPPORTED UNLESS NOTED OTHERWISE.

No.	Description	Date	
1	PERMIT SET	6/11/2020	
2	REV PER OWNER	7/28/2020	
A New Residence for: <b>Mr. and Mrs. Clark</b> 9029 Clayton Road Ladue, Missouri 63117			
 <b>DreamRunners</b> Ltd. 43 Camrose Green Maryville, IL 62062 Phone: 618-550-9417 Fax: 618-288-3782			
<b>STRUCTURAL ATTIC PLAN</b>			
Sheet Number: <b>S3</b> of 18			

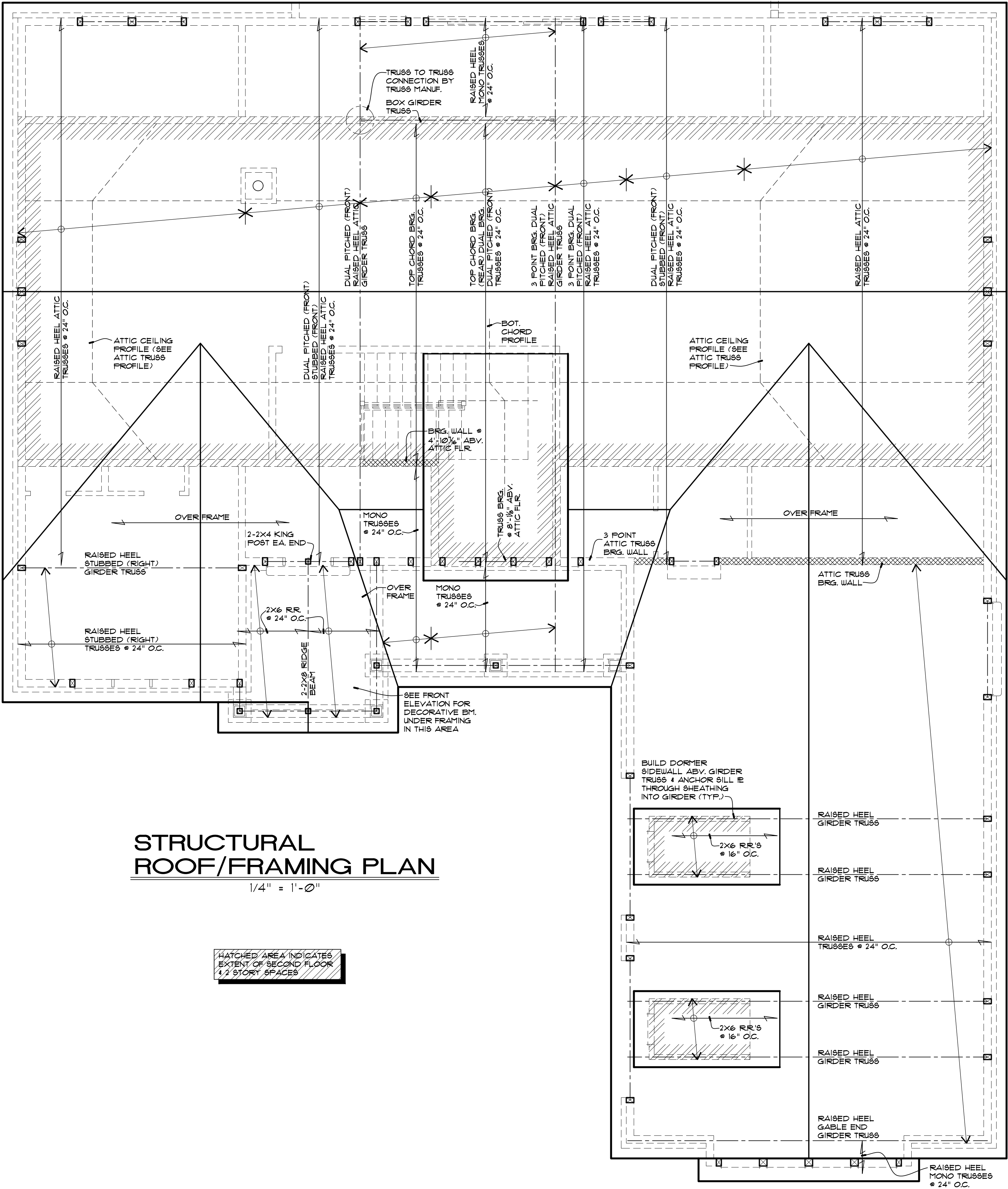


STRUCTURAL GRAPHICS LEGEND			
--- BEAM OR HEADER	BRACED WALL SEGMENT		
□ POST	PORTAL FRAME (SEE PLAN FOR TYPE)		
▨ BEARING WALL	SHEAR WALL		
└─ METAL HANGER	SIMPSON STEEL STRONG-WALL		
□ POST FROM ABOVE (FFA)	HOLD DOWN DEVICE		
▨ BEARING WALL ABOVE	MOMENT FRAME		
▨ METAL STUD WALL	SIMPSON STRONG-FRAME		

NOTE:  
WHERE PROPOSED FOOTINGS OR CONCRETE PAD'S ARE BEARING ON FILL, ENGINEERED FILL SHALL BE DESIGNED TO MIN. 2000PSF. BEARING CAPACITY AND BE CERTIFIED IN WRITING BY REGISTERED AND LICENSED GEOTECHNICAL ENGINEERING PROFESSIONAL TO OWNER AND ARCHITECT. OR CONTRACTOR CAN EXTEND FOOTING DEPTH TO BEAR ON MINIMUM 12" INTO VIRGIN SOIL.

### STRUCTURAL ROOF FRAMING NOTES

- ALL INTERIOR WALLS TO BE 3½" (2X4 STUDS), UNLESS NOTED OTHERWISE (UNO).
- POST INDICATED SHALL BE MINIMUM 2-2X WALL THICKNESS, GLUED AND NAILED UNLESS NOTED OTHERWISE. MINIMUM HEADER SIZE 2-2X10'S GLUED AND NAILED. EXCEPTIONS:
  - POSTS CARRYING ROOF LOADS ONLY AND NOT EXCEEDING 8'-1" IN HEIGHT AND SUPPORTING HEADERS SPANNING 3'-0" OR LESS MAY CONSIST OF A SINGLE 2X CRIPPLE AND (1) FULL HT. UNBROKEN STUD UNLESS NOTED OTHERWISE.
  - WOOD POSTS SUPPORTING BEAMS ARE TO MATCH THE WIDTH OF THE FLANGE BEING SUPPORTED UNLESS NOTED OTHERWISE.
- SEE ARCHITECTURAL FIRST AND SECOND FLOOR PLANS FOR INTERIOR CEILING CONDITIONS.
- TRUSS LAYOUT SHOWN IS FOR DIAGRAMMATIC PURPOSES ONLY. SEE MANUFACTURERS SHOP DRAWINGS FOR ACTUAL LAYOUT. INFORM ARCHITECT IMMEDIATELY FOR ANY DISCREPANCIES.



### STRUCTURAL ROOF/FRAMING PLAN

1/4" = 1'-0"

HATCHED AREA INDICATES  
EXTENT OF SECOND FLOOR  
1/2 STORY SPACES

A New Residence for:			
Mr. and Mrs. Clark			
9029 Clayton Road, Ladue, Missouri 63117			
<div> <div>  <div> <div>DreamRunners</div> <div>Ltd.</div> </div> </div> <div> <div>43 Camrose Green</div> <div>Maryville, IL 62062</div> <div>Phone: 618-550-9417</div> <div>Fax: 618-288-3782</div> </div> </div>			
<div> <div>STRUCTURAL</div> <div>ROOF/FRAMING</div> <div>PLAN</div> </div>			
<div> <div>Sheet Number:</div> <div>S4</div> <div>of 18</div> </div>			
No.	Description	Date	
1	PERMIT SET	6/11/2020	
2	REV PER OWNER	7/28/2020	



CLARK RESIDENCE





CLARK RESIDENCE



CLARK RESIDENCE





CLARK RESIDENCE

















Ryan Patton  
314-952-4233  
RE/MAX For Sale  
RE/MAX (314) 821-8900  
Now







## ANDERSON CLAD WINDOWS



**GAF TIMBERLINE TAMKO 30 YR ARCHITECTURAL**





**JAMES HARDY FIBER CEMENT ARTIC WHITE**





**THERMA TRU DOUBLE S82103 3'0"x8'0"**





## KWIK SET SAN CLEMENTE





## HBG SQUARE PERMACAST COLUMNS





## HAAS 360 GARAGE DOOR





## AZTEC WHITE CLOSURE





WHALEN CUSTOM HOMES BUILDING ENCLOSURE MATERIALS	
<b>PURCHASER</b>	JILL AND BRENT CLARK
<b>TITLE COMPANY</b>	INTEGRITY
<b>LOCATION</b>	LADUE
<b>ADDRESS</b>	9029 CLAYTON RD, ST. LOUIS, MO 63117
<b>PLAN</b>	CUSTOM
<b>PERMIT#</b>	
<b>EXTERIOR</b>	
SHINGLES	GAF TIMBERLINE TAMKO 30 YR ARCHITECTURAL
SIDING/SOFFIT/FACIA	JAMES HARDY FIBER CEMENT ARTIC WHITE / BOARD & BATTEN / VENTED ALUMINUM / ALUMINUM WRAPPED
EXTERIOR TRIM	WHITE
GUTTERS	ALUMINUM 5" WITH 2" X 3" DOWNSPOUTS W/ GUTTER GUARDS
BRICK	AZTEC WHITE CLOSURE
STONE	NONE
WINDOWS	ANDERSEN CLAD WINDOWS
FRONT DOOR	THERMA TRU DOUBLE S82103 3'0"x8'0" PAINTED BLACK
EXT. HARDWARE	KWIK SET SAN CLEMENTE IN MATTE BLACK
PORCH COLUMNS	HBG SQUARE PERMACAST COLUMNS
SHUTTERS	NONE
GARAGE DOORS	HAAS 360
GARAGE DOOR COLOR	BLACK
<b>NOTES</b>	